



**Project #16-040
Hampton Inn & Suites
Located at the northwest corner of
Main Street and 200 North**

REPORT SUMMARY...

Project Name: Hampton Inn & Suites
Proponent / Owner: Matt Weston / Logan City
Project Address: Approximately 233 North Main Street
Request: Design Review Permit
Current Zoning: Town Center (TC)
Type of Action: Quasi-Judicial
Date of Hearing: October 13, 2016
Submitted By: Amber Pollan, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #16-040, Hampton Inn & Suites, for the property located at approximately 233 North Main Street, TIN# 06-016-0034.

Current Land use adjoining the subject property

<i>North:</i>	TC: Government Uses (Library)	<i>East:</i>	TC: Commercial Uses
<i>South:</i>	TC: Government Uses	<i>West:</i>	TC/PUB: Government Uses

PROPOSAL

The proposal includes the construction of a new 102 room hotel. The hotel will be 4 stories in height and be 72,423 sq ft. The proposed hotel will also include a pool, patio, breakfast area, fitness facility, business center, laundry, and office facilities. The Land Development Code (LDC) table §17.17.030 permits a hotel accommodation use within the TC zoning district.

LOGAN CITY GENERAL PLAN

The Future Land Use Plan (FLUP) identifies the area as Town Center (TC). Section 3.5 describes the Town Center area as designated to promote and compliment Logan's downtown. The Town Center will have a mix of retail, office, residential, and civic uses in addition to entertainment and cultural activities. Projects will have buildings that are more than one story, constructed of traditional building materials and will be designed to be architecturally complementary to the existing downtown historic structures. The building, site, and uses provided for in this development meet the intent of the General Plan.

SITE DESIGN

Site Layout and Lot Coverage

The Town Center zone design standards are intended to foster walkable urban development with intensity focused on Main Street. Pedestrian scaled building and streetscape design are to conceal parking and promote quality and complimentary architecture. The hotel is oriented to the property line and to the streets. The LDC 17.19.060 establishes a maximum lot coverage of 100% (building(s) footprint). The total project site is 1.63 acres (71,100 SF) in size. As proposed, with a 20,400 SF building footprint, the lot coverage is approximately 30% of the site and complies with allowances in the LDC.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the TC zone are as follows (as measured from property lines):

Front:	0'-5' (min-max)
Side:	0'-5' (min)
Rear:	0' (min)
Parking:	10' (min)

The following setbacks are proposed (as measured from the exterior property lines of the project site, at closest points):

Front (East/Main Street):	0'-5.52'
Front (South/200 North):	0'-6.73'
Side (North):	90'
Side (West):	43'
Parking:	5'

The Main Street front, North and West Sides of the building are substantially compliant with setback standards. The South/200 North building elevation has some variation in the wall plane that includes two 20' wide sections that extend 6.73' back. There are awning features on these areas that are within the setback. Staff recommends that the 6.73' setback be acceptable as it allows additional wall plane variation and still has architectural elements that are within the setback range. The intent of the building footprint being oriented to the street is being met.

The parking setback along Main Street will need to be extended an additional 5' to meet the 10' minimum standard. The applicant may need to widen the driveway per UDOT's requirements and so they are anticipating shifting the parking stalls in that area. Staff recommend the minimum 10' setback be met and the area be landscaped as required in LDC §17.39.070 for parking lot landscaping buffers based on the setback. A setback of 10' would require that there is berming in combination with landscaping to create a 4' tall solid screen.

Access

The site is proposed with one (1) access onto Main Street. There will be a cross-use agreement from this access to the other lots on the block and for this project to access through the other lots. This includes the cross-use of the mid-block access off of 200 North. This will allow for traffic to be dispersed on the block as it is currently.

Parking Placement

The LDC 17.19.060 indicates that parking lots shall be located in the rear yard. As submitted, the parking is located primarily to the rear of the building. There is parking on the north side along the access drive. This is the mid-block access and only access allowed by UDOT. The required landscaping buffer will meet the intent of the parking lot placement requirements in the LDC.

Parking

The LDC Table 17.38.040 requires one (1) parking stall per guest room, plus associated uses. This facility does not have any associated uses that are open to non-guests, such as a restaurant. Based on this requirement, 102 parking stalls would be required. The site plan indicates 99 stalls. The Town Center zone allows for the director to allow a reduction of up to 25%. The site is at a 3% reduction and there are options for shared parking agreements for overnight parking on the City block or other areas within a 600' radius of the property, as allowed by Code. As conditioned with the Director's approval or a shared parking agreement, the project meets the requirements of the LDC.

Pedestrian Circulation

Pedestrian access is provided for with a functioning entrance at the corner of the building serving Main Street and 200 North pedestrian traffic. A walkway is provided around the building to connect from the street and parking areas to the other entrances on the building. The public sidewalk will be maintained and the developer will work with the City to implement the Downtown streetscape plan. There is currently a grass parkstrip and street trees. Existing

street trees will be preserved to the extent possible with construction but the site may be modified to a tree grate and planter system with Main Street furnishings.

Lighting

The LDC 17.37.090 requires adequate lighting that improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits pole height to 32 feet and luminaire fixtures to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

Open Space & Landscaping

The LDC 17.19.060 does not require open space or landscaping in the TC zone. There is a requirement for parking lot interior landscaping of 18 sf per stall and for islands to be at the end of parking aisles. The 99 stalls would require a minimum of 1850 sf and the proposed plan includes approximately 3000 sf located at the end of parking aisles and along the edge of the parking area. There is also an outdoor patio providing open space on the southwest corner of the building. As proposed, the project meets the landscaping and open area requirements of the LDC.

BUILDING DESIGN

Building Height

The LDC 17.19.060 limits building height in the TC zone to 68 feet on Main Street. The proposed building is shown at approximately 53'11". The building is four stories with a main level height of 12'8" and the second, third, and fourth floors with 10.5' stories. There is additional parapet height that varies from 5-10' to provide architectural variation. As submitted, the project complies with the building height requirements in the LDC.

Elevations

The building concept uses materials and form that are compatible and consistent with the downtown. The elevations generally provide variation by windows, balconies, recesses, and changes in color and material. The building shows separation of a base or main floor, a middle, and a top with parapet and cornice details. Each floor is emphasized in the design by material or color and entrances provide weather protection.

In the TC zone, blank wall lengths of 30' are prohibited. There is an area of the Main Street frontage that is 50' long and does not have variation. The LDC also requires a minimum of 60% transparency/fenestration on ground-floor facades and 20% for upper floors in the TC zoning district. Fenestration is defined as variation in the arrangement and detailing of windows and other openings. The upper floors do provide more than 20% transparency in windows. The ground floor is at approximately 36% transparency (windows) on the Main Street elevation. The elevations provided did not have a scale; Staff will provide detailed percentages at the meeting. Additional transparency on the Main Street side would resolve the blank wall length and add to the percentage. The awnings and modulation of wall planes do add to the intent of the fenestration of the wall plane. The project may be found to be compliant. Staff recommends substantial conformance with the transparency/fenestration requirements and maximum blank wall length of 30' be applied.

Materials

The LDC 17.18.020 states that building materials should be compatible with the architectural style and design of the building and that a mix of materials should be used as opposed to one material. The proposed building materials include brick and painted stucco, with some metal railings and awning features. Brick and stucco (EIFS) are allowed materials; however, stucco is only permitted when it is sufficiently detailed to provide interest and surface variation. Detailing, such as scoring, must be provided to break up the surface into areas of 64 sf or less. The brick will be a red color and will provide compatibility with the historic downtown. The interior

elevations indicate primarily the use of brick. The applicant has indicated that they would like to vary the material more on the interior. Staff recommends that brick be used as a minimum for the first floor or in vertical sections, alternating with building sections like the frontage elevations. As conditioned with detail on the EIFS material, the project meets the building material requirements of the Land Development Code.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Engineering/Public Works	• Water
• Light and Power	• Fire
• Environmental	• Building Safety
• Water/Cross Connection	• GIS
• City Forester	• Business Licensing

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on October 1, 2016, and the Utah Public Meeting website on October 3, 2016. Public notices were mailed to all property owners within 300 feet of the project site on September 26, 2016.

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, there have been some inquiries for more information about the proposal but no comments have been received.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. A 10' minimum parking setback provided with Type "C" separation standards per LDC §17.039.070.
3. Parking to be provided at one stall per guest room. The Director may approve a reduction per LDC §17.38.090.E or an off-site parking agreement be provided per §17.38.050.
4. A performance landscaping plan, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Parking lot landscaping to be provided in accordance with LDC §17.39.070, including a minimum of 7 trees and plant coverage of 50% of the landscaped islands.
 - b) The streetscape on Main Street and 200 North to be coordinated with the staff to implement the Downtown Specific plan. Trees shall be maintained or installed at 30' on center along all adjacent streets.
5. Weather protection required for ground floor entrances.
6. Building elevations shall provide substantial conformance with the transparency/fenestration and building wall length articulation requirements.
7. The proposed building materials include brick and painted stucco, with some metal railings and awning features. Stucco (EIFS) must be sufficiently detailed to provide interest and surface variation into areas of 64 sf or less.
8. If the north and west interior elevations are modified, brick shall be used first floor, as a minimum, or in vertical sections, alternating with building sections like the frontage elevations.
9. All dumpsters shall be visually screened or buffered from public streets by either the use of landscaping, fencing or walls.

10. Exterior lighting shall be concealed source, down-cast and reviewed and approved prior to the issuance of a building permit and shall comply with current LDC regulations.
11. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
12. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
13. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Fire – Contact 716-9515*
 - i. This project will require fire hydrants, fire sprinkler system, fire alarm system, standpipes, and aerial fire apparatus access.
 - ii. A Fire pump may need a State permit.
 - b. *Environmental/Waste Management – Contact 716-9760*
 - i. Minimum inside measurement of enclosure is 12 ft wide and 10 ft deep. Place bollards or other design feature in the back to protect enclosure wall. Gates must have drop pins to hold the gates in the open position. No shed roof overhang allowed into lift space of enclosure.
 - c. *Water – Contact 716-9627*
 - i. Water main must have an RP (ASSE1013) installed as it enters the building before any branch-offs or connections and be tested.
 - ii. The fire riser must have a minimum DC (ASSE1015) installed and tested. An RP will be required if there is also a pump system.
 - iii. Landscape irrigation must have a high hazard rated back flow assembly installed and tested such as a RP (ASSE1013) or PVB (ASSE1015).
 - iv. All point of use back flow rules shall apply, according to the Utah 2015 IPC.
 - d. *Engineering—contact 716-9160*
 - i. Provide storm water detention/retention in compliance with City design and construction standards. This includes but is not limited to:
 - 1) Onsite retention of the 90th percentile storm event
 - 2) Implementation of Low Impact Development for storm water retention and detention
 - ii. Provide water shares per Land Development Code for increased water demand on existing City Water shares and system.
 - iii. Dedicate a 10' X10' corner cut at the intersection of US 89/91 and SR-30 for a 45' radius at the top back of curb, ADA sidewalk/ramps and relocation of signal pole. Coordinate radius corner and signal work with UDOT.
 - iv. Provide a cross access agreement with Logan City for access to all UDOT and City streets. This agreement shall include existing City buildings and parking lots and the possible future development of the north east corner of the block.
 - v. Access to US 89/91 and SR-30 shall be as approved and conditioned by UDOT and shall have CAMP approval.
 - vi. Provide a fixture count and flows per the plumbing code to ensure that the correct water meter size is provided and sewer lateral is sized correctly.
 - vii. Any current or previous utility connections not used by this development shall be capped at the City associated main, coordinate locations with Logan City.
 - viii. A Water utility agreement will be required for fire hydrant on interior of site.
 - e. *Environmental (Waste Management) —contact 716-9760*
 - i. Loop access is not large enough for collection truck plus it will cause excessive wear on the parking lot. Full grown trees will interfere with truck clearance. A better placement would be straight in on either of the access points so the

collection truck can pull straight in and then back out. Minimum inside measurement of a single enclosure is 10 ft deep and 12 ft wide.

f. City Forestry – Contact 716-9749

- i. Street trees required in parkstrip every 30', to be installed or maintained by developer. Coordinate species and location with the Forester and provide information on landscaping plan submitted with building permit.

g. CVTD – Contact 792-3048

- i. The CVTD bus stop is being proposed to be relocated to the north. Contact CVTD to coordinate relocation options and construction.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, materials, landscaping, and setbacks to adjacent development.
2. The design review permit substantially conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The project meets the goals and objectives in the General Plan by introducing an architecturally compatible building and use that will support the Logan downtown activity.
4. The project development utilizes existing utilities, infrastructure, and roadways.
5. The 6.73' setback is found to be acceptable as it allows additional wall plane variation and still has architectural elements that are within the setback range.
6. The proposed project as conditioned complies with maximum height, density and building design standards and because the building is solely commercial in use that application of commercial standards in building design is appropriate and conforms to the intent of the LDC.
7. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
8. Main Street and 200 North provide access and are adequate in size and design to sufficiently handle automobile traffic related to the land use. UDOT has reviewed the project and will have additional review to ensure any necessary mitigation occurs.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

☒ Planning Commission ☐ Land Use Appeal

Board ☐ Administrative Review

Date Received 9-12-16	Received By DZ	Receipt Number 312475	Zone TC	Application Number PC 16-040
Type of Application (Check all that apply): <input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Variance <input type="checkbox"/> 4950' Design Review <input type="checkbox"/> Other _____				
PROJECT NAME HAMPTON INN & SUITES				
PROJECT ADDRESS 233 N. MAIN LOGAN UT 84321			COUNTY PLAT TAX ID # 06 - 016 - 0034	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) MMR INVESTMENTS LLC & WESTON LOGAN INC.			MAIN PHONE # 435-881-1031	
MAILING ADDRESS 98 S. MAIN		CITY PROVIDENCE	STATE UT	ZIP 84332
EMAIL ADDRESS mweston71@yahoo.com				
PROPERTY OWNER OF RECORD (Must be listed) CITY OF LOGAN			MAIN PHONE # 435-716-9001	
MAILING ADDRESS 290 N 100 W		CITY LOGAN	STATE UT	ZIP 84321
EMAIL ADDRESS				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) 102 UNIT HAMPTON INN & SUITES				Total Lot Size (acres) 1.63 Size of Proposed New Building (square feet) 72,423 sq. ft. Number of Proposed New Units/Lots
- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -				
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.			Signature of Property Owner's Authorized Agent 	

Rendering



BASE⁴

www.base-4.com

Site Plan

SCALE - 3/128" = 1'-0"



Legend

HOTEL

GREEN SPACE

DRIVEWAY

PARKING SPACES



NOT TO SCALE



GUESTROOMS

TOILETS

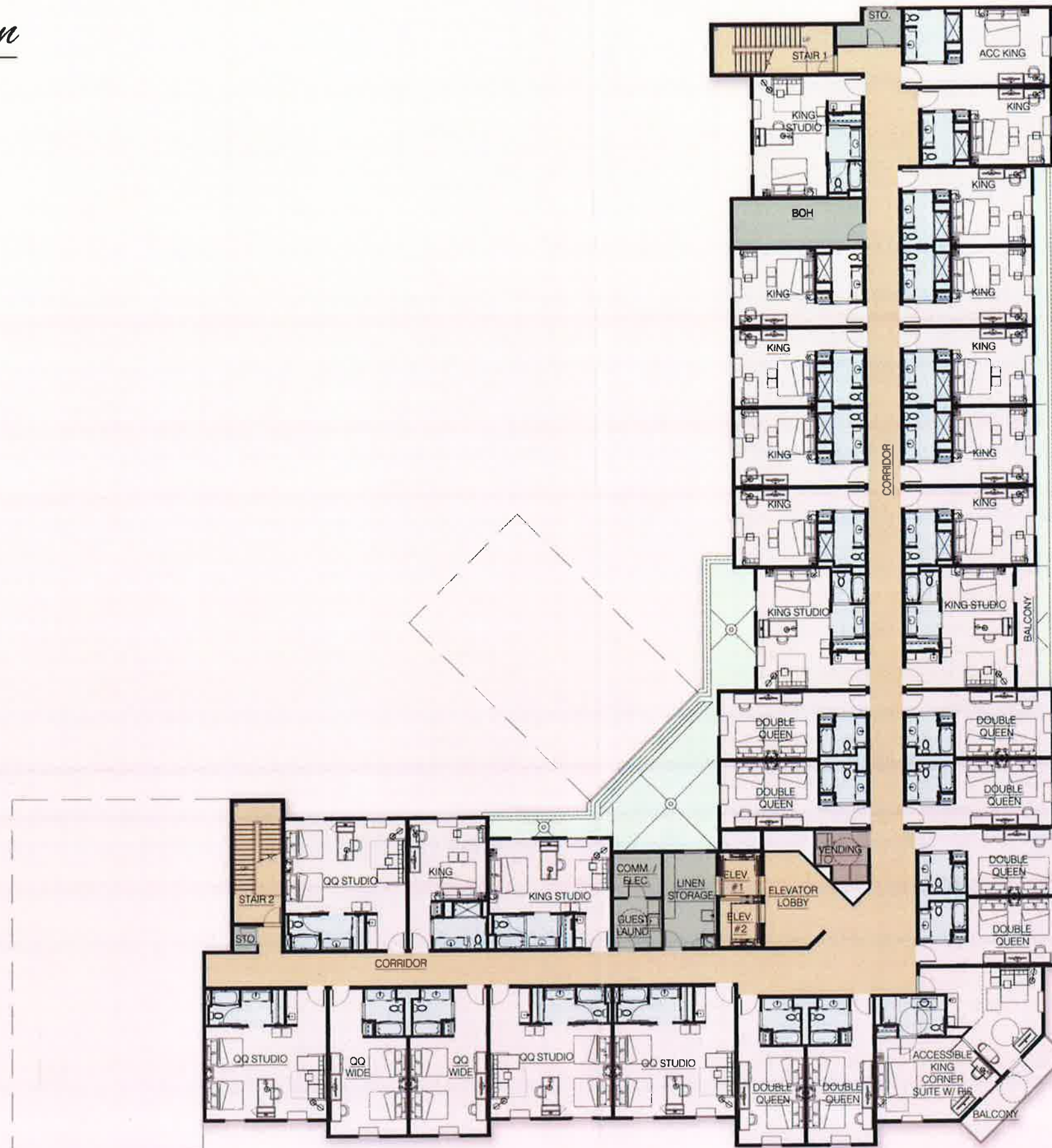
COMMON AREA

BOH

CORE



NOT TO SCALE



GUESTROOMS

TOILETS

COMMON AREA

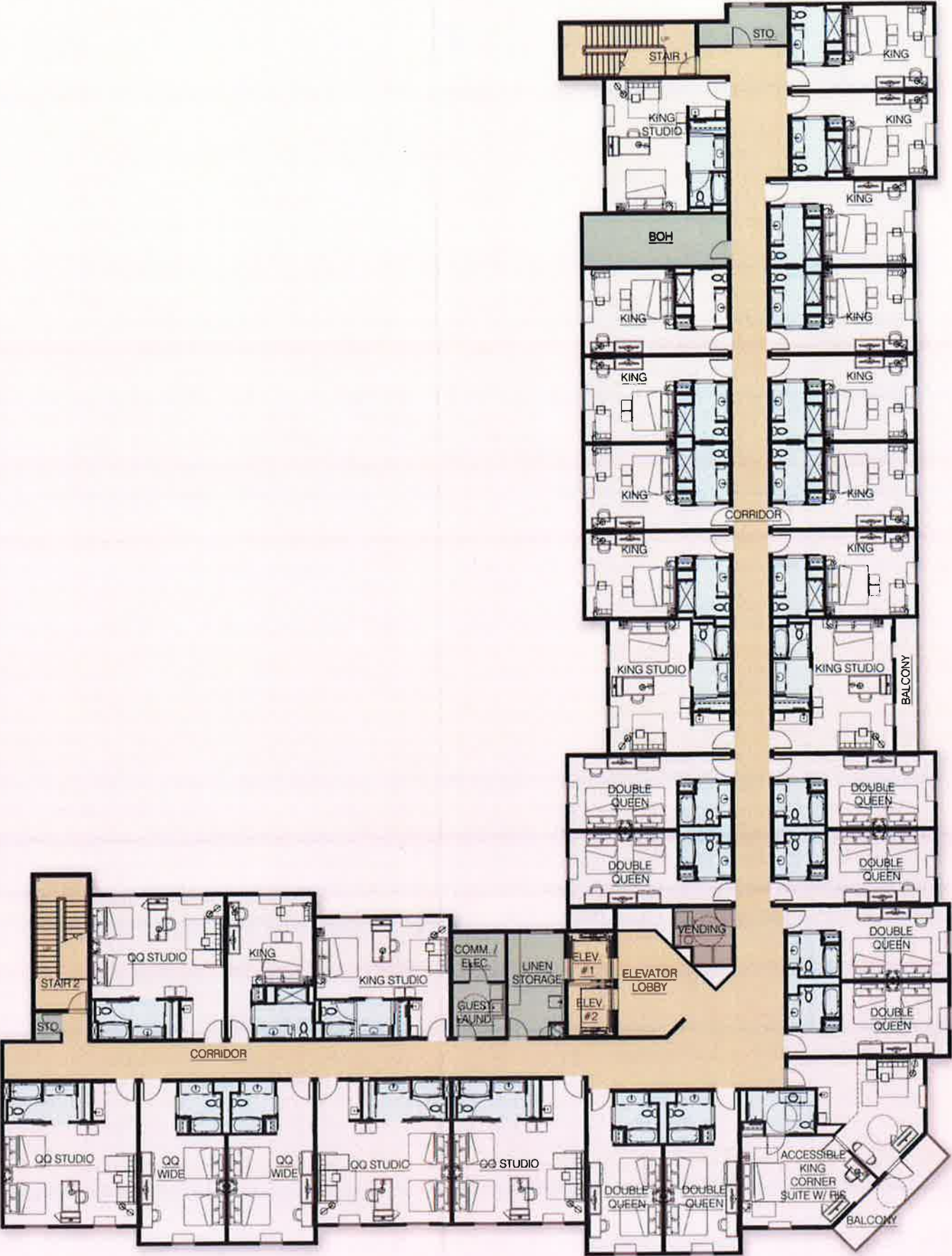
BOH

CORE



Third Floor Plan

NOT TO SCALE

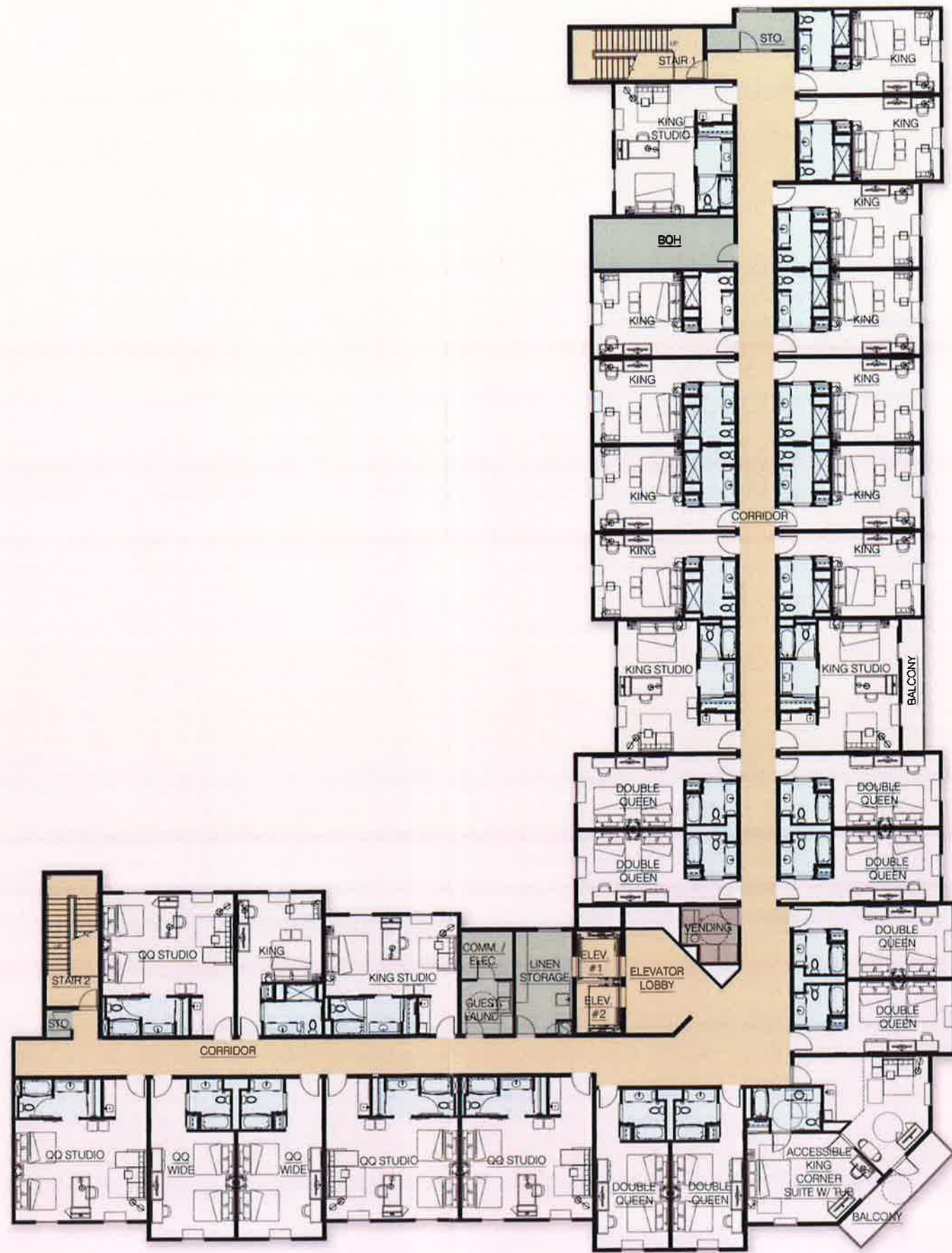


Legend

- GUESTROOMS
- TOILETS
- COMMON AREA
- BOH
- CORE

Forth Floor Plan

NOT TO SCALE

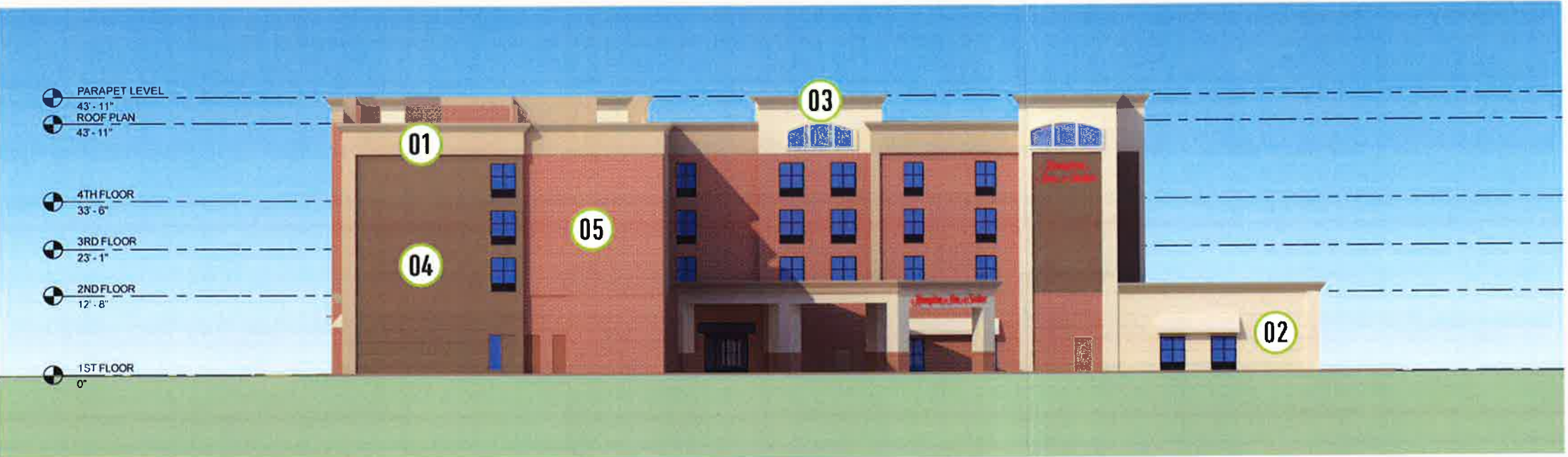


Legend

- GUESTROOMS
- TOILETS
- COMMON AREA
- BOH
- CORE

North Elevation

NOT TO SCALE

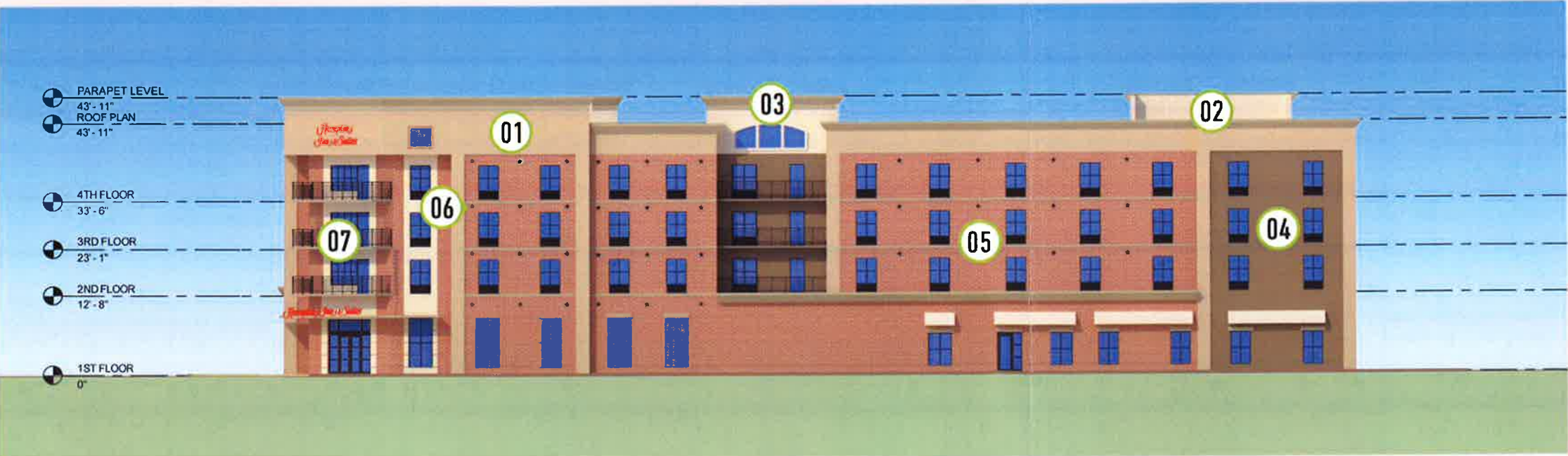


Material Legend

- 01 BENJAMIN MOORE "TRUFFLE"
- 02 BENJAMIN MOORE "INDIAN WHITE"
- 03 BENJAMIN MOORE "MEDITATION"
- 04 BENJAMIN MOORE "FALLEN TIMBER"
- 05 CHEROKEE BRICK CO. CLASSIC COLLECTION
"Oglethorpe"
www.cherokeebrick.com
CASTALITE BRICKYARD
745 W 200 N, Logan, UT 84321
- 06 CAST IRON ANCHOR PLATE STARS -
ADKINS ANTIQUE HARDWARE:
9" CAST IRON MASONRY STAR
adkinsantiquehardware.com
★ BENJAMIN MOORE "BLACK SATIN"
- 07 
RAILINGS SHALL BE PERIOD
ARCHITECTURE SENSITIVE,
BUT CODE COMPLIANT

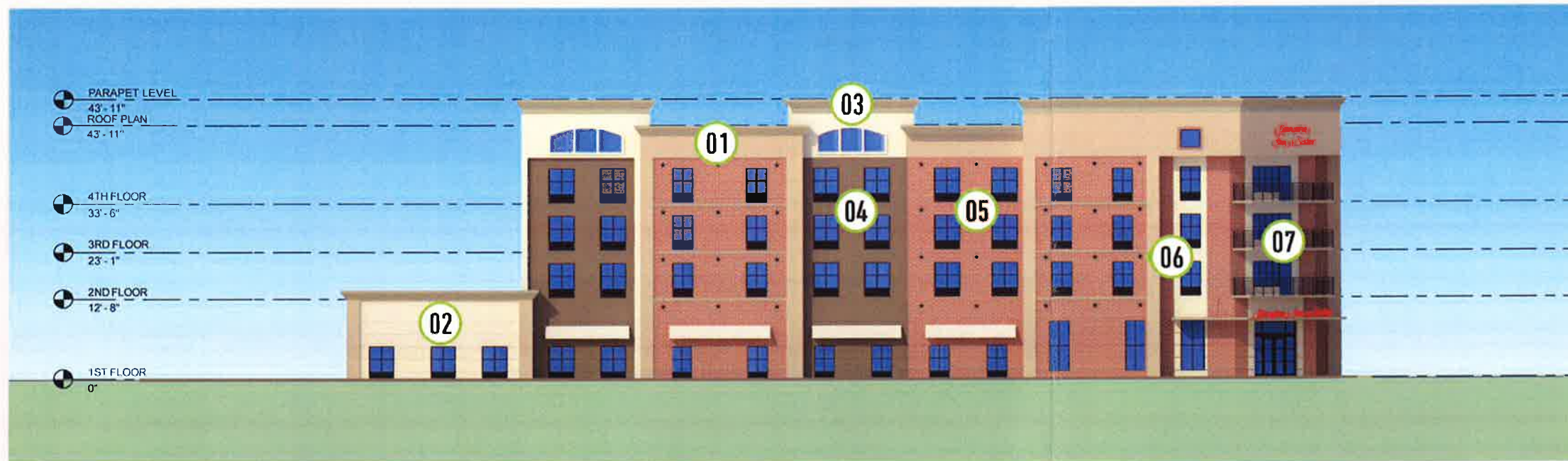
East Elevation

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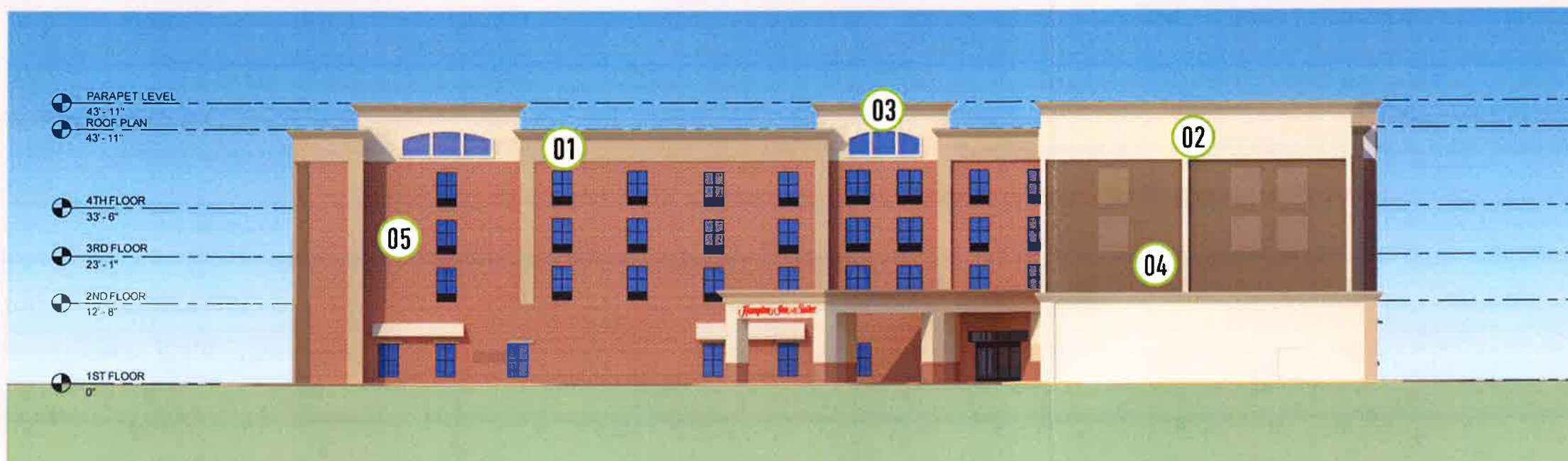
South Elevation

NOT TO SCALE



West Elevation

NOT TO SCALE



Material Legend

- 01 BENJAMIN MOORE
"TRUFFLE"
- 02 BENJAMIN MOORE
"INDIAN WHITE"
- 03 BENJAMIN MOORE
"MEDITATION"
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